



REQUEST FOR BIDS

**TADS PARKING LOT EXPANSION PROJECT**

**RFB 24BCP05C**

May 21, 2024

**ADDENDUM #3**

Notice to Respondents:

This addendum will be considered a part of Bastrop County's Request for Bids for TADS Parking Lot Expansion Project. Where provisions of this addendum differ from those of the original Request for Bids, this addendum will govern.

ACKNOWLEDGED

\_\_\_\_\_  
Printed Name of Respondent

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Date

RETURN ONE COPY SIGNED COPY OF THIS ADDENDUM TO THE PURCHASING OFFICE WITH YOUR SEALED BID. FAILURE TO DO SO, MAY AUTOMATICALLY DISQUALIFY YOUR RESPONSE FROM CONSIDERATION FOR AWARD.

### **ITEMS FOR ADDENDUM #3:**

The attached design package has a correction that was missed on the updated version attached to Addendum #2 that was sent out on Monday, May 20, 2024. The attached design package should be used to finalize all bids for RFB 24BCP05C - TADS Parking Lot Expansion Project.

**The original due date for sealed bid submissions was May 21, 2024. To account for the updated design package the new due date for sealed bids is June 5, 2024**

**OWNER:**  
 BASTROP COUNTY  
 804 PECAN STREET  
 BASTROP, TX 78602  
 (512) 581-4071  
 CONTACT: LEON SCAIFE

**ENGINEER:**  
 BOWMAN CONSULTING GROUP, LTD.  
 807 LAS CIMAS PKWY, LAS CIMAS II, SUITE 350  
 AUSTIN, TEXAS 78746  
 512-327-1180  
 CONTACT: MARISA KEISER, PE

**SURVEYOR:**  
 BOWMAN CONSULTING GROUP, LTD.  
 807 LAS CIMAS PKWY, LAS CIMAS II, SUITE 350  
 AUSTIN, TEXAS 78746  
 512-327-1180  
 CONTACT: DALE L. OLSON

# TADS PARKING LOT EXPANSION

## 211 JACKSON ST, BASTROP, TEXAS 78602

**PROJECT ADDRESS:**

211 JACKSON ST, BASTROP, TEXAS 78602

**PROJECT NARRATIVE:**

THE PROPOSED DEVELOPMENT INCLUDES DESIGN SERVICES FOR A PARKING LOT EXPANSION AT THE TAX AND DEVELOPMENT SERVICES (TADS) BUILDING.

SCOPE OF WORK: EARTHWORK, DRAINAGE, AND MINIMAL RE-GRADING.

**LEGAL DESCRIPTION:**

BUILDING BLOCKS 100 (EMS), 101 (EMS) & MILL ST., LOT 1, ACRES 4.605, (BASTROP COUNTY COMPLEX PD)

**DEED RECORD:**

VOLUME 475, PAGE 597, BASTROP COUNTY DEED RECORDS

**FLOOD NOTE:**

THE SUBJECT TRACT IS NOT LOCATED WITHIN THE FEMA FLOODPLAIN AS SHOWN ON THE TRAVIS COUNTY FIRM MAP NO. 48021G0360E, May 9th, 2023.

THE ABOVE STATEMENT IS MEANT FOR FLOOD INSURANCE DETERMINATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP.

**ZONING CLASSIFICATION:**

BASTROP COUNTY PLANNED DEVELOPMENT



MAPSCO PAGE: 527S

LOCATION MAP  
NTS

LOCATED IN GRID: N28

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	EROSION & SEDIMENTATION CONTROL PLAN
5	CONCEPT PLAN
6	PAVING PLAN
7	GRADING PLAN
8	DETAILS

**Owner's Signature Block:**

As owner of this property, I promise to develop and maintain this property as described by this plan.

\_\_\_\_\_  
Name of Owner/Trustee

\_\_\_\_\_  
Date

**City Approval Signature Block:**

All responsibility for the adequacy of these plans remains with the engineer who prepared them. In accepting these plans, the City of Bastrop must rely upon the adequacy of the work of the design engineer.

**Accepted for Construction:**

\_\_\_\_\_  
Director of Planning and Development

\_\_\_\_\_  
Date

\_\_\_\_\_  
City of Bastrop Engineer

\_\_\_\_\_  
Date

\_\_\_\_\_  
City of Bastrop Fire Department

\_\_\_\_\_  
Date

**Signed and sealed certification of the licensed engineer who prepared the Site Development Plan:**

I, MARISA KEISER do hereby certify that the information contained in these engineering documents are complete, accurate, and adequate for the intended purposes, including construction, but are not authorized for construction prior to formal City approval.

Marisa Keiser May 20, 2024  
Signature and Seal of Registered Engineer with date



CITY APPROVED REVISION & CORRECTIONS							
NUMBER	DESCRIPTION	REVISE (R) CORRECTION (C) ADD (A) VOID (V) SHEET NO.'S	NET CHANGE IMPERVIOUS COVER (SQ. FT.)	TOTAL IMPERVIOUS COVER (SQ. FT.)%	DESIGN ENGINEER SIGNATURE	CITY OF PFLUGERVILLE APPROVAL	APPROVAL DATE



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 TBPE Firm Registration No. F-14309



Know what's below.  
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



**CITY OF BASTROP GENERAL NOTES**  
EFFECTIVE FEBRUARY 25, 2020

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CONSTRUCTION TECHNICAL MANUAL.
- ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS AS APPROPRIATE.
- MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, ETC. SHALL BE RAISED TO FINISHED GRADE AFTER TO FINAL PAVING CONSTRUCTION. A CONCRETE SQUARE SHALL BE POURED AROUND ALL APPURTENANCES.
- THE CONTRACTOR SHALL GIVE THE CITY OF BASTROP 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION. NOTICE SHALL BE GIVEN TO THE PLANNING AND DEVELOPMENT DEPARTMENT: 512-332-8840.
- ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL FOLLOW THE REQUIRED BEST MANAGEMENT PRACTICES. A) EACH SITE SHALL PROVIDE AN ACCESS DRIVE AND PARKING AREA OF SUFFICIENT DIMENSIONS AND DESIGN, SURFACED WITH A MATERIAL THAT WILL PREVENT EROSION AND MINIMIZE TRACKING OR WASHING OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ALL NON-PAVED ACCESS DRIVES SHALL BE DESIGNED SO THAT STORMWATER RUNOFF FROM ADJACENT AREAS DOES NOT FLOW DOWN THE DRIVE SURFACE. B) ANY SIGNIFICANT AMOUNT OF RUNOFF FROM UP SLOPE LAND AREA, ROOFTOPS, OR OTHER SURFACES THAT DRAIN ACROSS THE PROPOSED LAND DISTURBANCE SHALL BE DIVERTED AROUND THE DISTURBED AREA, IF PRACTICAL. ANY DIVERSION OF UP SLOPE RUNOFF SHALL BE DONE IN A MANNER THAT PREVENTS EROSION OF THE FLOW PATH AND THE OUTLET. C) ANY CUTS AND FILLS SHALL BE PLANNED AND CONSTRUCTED TO MINIMIZE THE LENGTH AND STEEPNESS OF SLOPE AND STABILIZED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN TITLES AND STANDARDS OF THIS DOCUMENT. D) OPEN CHANNELS SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION. E) INLETS TO STORM DRAINS, CULVERTS, AND OTHER STORMWATER CONVEYANCE SYSTEMS SHALL BE PROTECTED FROM SILTATION UNTIL FINAL SITE STABILIZATION. F) WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. G) ALL WASTE AND UNUSED BUILDING MATERIALS SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM. H) ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN, OR EQUIVALENT. I) ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE. J) SOIL STOCKPILES SHALL BE LOCATED NO CLOSER THAN 25- FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGEWAYS, OR ROADWAY DRAINAGE SYSTEMS. STOCKPILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TAPPS, OR OTHER MEANS IF REMAINING FOR 20 DAYS OR LONGER.
- PRIOR TO ANY CONSTRUCTION, THE APPLICANT'S ENGINEER SHALL CONVENE A PRECONSTRUCTION CONFERENCE BETWEEN HIMSELF, THE CITY OF BASTROP, THE CONTRACTOR, UTILITY COMPANIES, A MUD REPRESENTATIVE, ANY AFFECTED PARTIES, AND ANY OTHER ENTITY THE CITY OR THE ENGINEER MAY REQUIRE. REFERENCE DEVELOPMENT PACKET FOR GUIDANCE ON HOW TO SCHEDULE A PRECONSTRUCTION CONFERENCE.
- THE CONTRACTOR AND THE ENGINEER SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. THE ENGINEER SHALL FURNISH THE CITY OF BASTROP ACCURATE "AS-BUILT" DRAWINGS FOLLOWING COMPLETION OF ALL CONSTRUCTION. THESE "AS-BUILT" DRAWINGS SHALL MEET WITH THE SATISFACTION OF THE CITY ENGINEER PRIOR TO FINAL ACCEPTANCE.
- THE BASTROP CITY COUNCIL SHALL NOT BE PETITIONED FOR ACCEPTANCE UNTIL ALL NECESSARY EASEMENT DOCUMENTS HAVE BEEN SIGNED AND RECORDED.
- WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND ANY TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.

**CITY OF BASTROP STREET AND DRAINAGE NOTES**  
EFFECTIVE FEBRUARY 25, 2020

- ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE APPLICANT'S EXPENSE. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY OF BASTROP CONSTRUCTION MANAGER AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING. CONTACT THE PLANNING AND DEVELOPMENT DEPARTMENT WITH NOTICE 512-332-8840.
- BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 85% MAXIMUM DENSITY TO WITHIN 3 INCHES OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 3 INCHES IN THE GREATEST DIMENSION. THE REMAINING 3 INCHES SHALL BE CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR SUSTAINING PLANT LIFE.
- DEPTH OF COVER FOR ALL CROSSINGS UNDER PAVEMENT INCLUDING GAS, ELECTRIC, TELEPHONE, CABLE TV, WATER SERVICES, ETC., SHALL BE A MINIMUM OF 36 INCHES BELOW SUBGRADE UNLESS APPROVED BY THE CITY ENGINEER.
- STREET RIGHTS-OF-WAY SHALL BE GRADED AT A SLOPE OF 1/4 INCH PER FOOT TOWARD THE CURB UNLESS OTHERWISE INDICATED. HOWEVER, IN NO CASE SHALL THE WIDTH OF RIGHT-OF-WAY AT 1/4 INCH PER FOOT SLOPE BE LESS THAN 10 FEET UNLESS A SPECIFIC REQUEST FOR AN ALTERNATE GRADING SCHEME IS MADE TO AND ACCEPTED BY THE CITY OF BASTROP PLANNING AND DEVELOPMENT DEPARTMENT.
- BARRICADES BUILT TO CITY OF BASTROP STANDARDS SHALL BE CONSTRUCTED ON ALL DEAD END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB AND PUBLIC SAFETY.
- ALL RCP SHALL BE MINIMUM CLASS III UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- THE SUBGRADE MATERIAL FOR THE STREETS SHOWN HEREIN WAS TESTED BY \_\_\_\_\_ THE PAVING SECTIONS WERE DESIGNED BY \_\_\_\_\_ IN ACCORDANCE WITH THE CURRENT CITY OF BASTROP DESIGN CRITERIA. THE PAVING SECTIONS ARE TO BE CONSTRUCTED AS FOLLOWS:

Base	Sub	Sub Base	Sub	Sub Base

- THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISION OF THE CONSTRUCTION PLANS.
- WHERE PIS ARE OVER 20, SUBGRADES MUST BE STABILIZED UTILIZING A METHOD ACCEPTABLE TO THE CITY ENGINEER. THE GEOTECHNICAL ENGINEER SHALL RECOMMEND AN APPROPRIATE SUBGRADE STABILIZATION IF SULFATES ARE DETERMINED TO BE PRESENT.


**CITY OF BASTROP TRAFFIC MARKING NOTES**  
EFFECTIVE FEBRUARY 25, 2020

- ANY METHODS, STREET MARKINGS AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIANS OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES AND, THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITIONS.
- STOP BARS SHALL BE PLACED AT ALL STOP SIGN LOCATIONS.
- "NO THROUGH TRUCK" SIGNS SHALL BE PLACED AT ALL SUBDIVISION ENTRANCES.

**CITY OF BASTROP EROSION AND SEDIMENTATION CONTROL NOTES**  
EFFECTIVE FEBRUARY 25, 2020

- EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CODE OF ORDINANCES.
- ALL SLOPES SHALL BE SODDED OR SEEDDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED.
- SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES. SUCH INSTALLATION SHALL BE REGULARLY INSPECTED BY THE CITY OF BASTROP FOR EFFECTIVENESS. ADDITIONAL MEASURES MAY BE REQUIRED IF, IN THE OPINION OF THE CITY ENGINEER, THEY ARE WARRANTED.

V:\070784 - bastrop co. trds parking lot expansion\070784-01-001 (reg) - trds parking lot expansion\engineering\plans\070784-01-001\_NOTES.dwg, GENERAL NOTES, May 20, 2024, 11:36 AM, aaliabidi



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Fax: (512) 327-4062  
www.bowman.com  
1819 E. Fritsch  
P.O. Box 1024, Bowman Consulting Group, Ltd. # 1-4-010  
8071 Las Colinas Parkway  
Suite 350  
Austin, Texas 78746

REVISION	DATE	DESCRIPTION

**GENERAL NOTES**

T.A.D.S. PARKING LOT EXPANSION  
211 JACKSON STREET  
BASTROP, TEXAS 78602



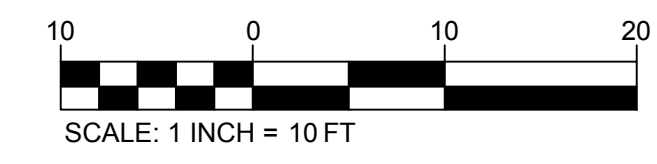
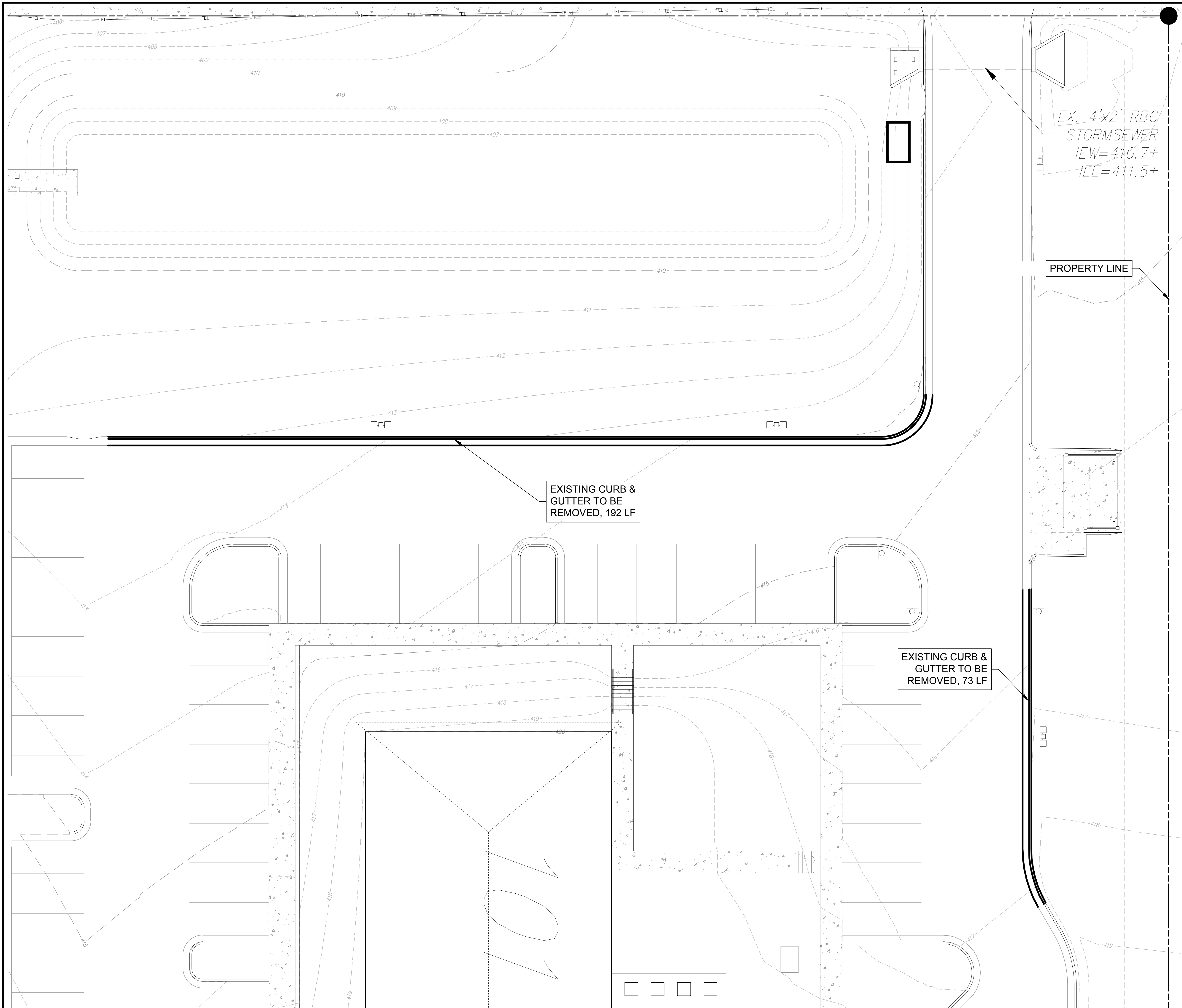
STATE OF TEXAS  
MARISA KEISER  
141397  
PROFESSIONAL ENGINEER  
Marisa Keiser  
May 20, 2024

DESIGN	DRAWN	CHKD
AAK	DWC	MK
JOB No. 070784-01-001		
SHEET		
2	OF	8



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

V:\070784 - bastrop co. bids parking lot expansion\engineering\plans\070784-01-001\_EXIST.dwg, EXISTING CONDITIONS & DEMOLITION PLAN, May 20, 2024, 11:36 AM, jaskabhi



- BOUNDARY LINE
- R.O.W.
- EASEMENT LINE
- LOT LINE
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- FM EXISTING FORCE MAIN
- RW RECLAIMED WATER
- WW EXISTING WASTEWATER LINE
- WL EXISTING WATER LINE
- OU EXISTING OVERHEAD UTILITY
- SD EXISTING STORM DRAIN
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING TREE
- ⊗ EXISTING TREE TO BE REMOVED

REVISION	DESCRIPTION	DATE

**EXISTING CONDITIONS & DEMOLITION PLAN**  
 T.A.D.S. PARKING LOT EXPANSION  
 211 JACKSON STREET  
 BASTROP, TEXAS 78602

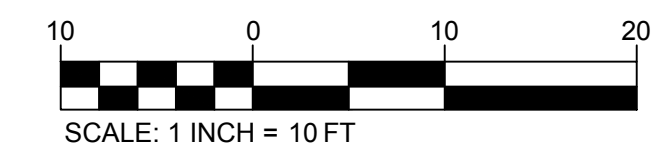
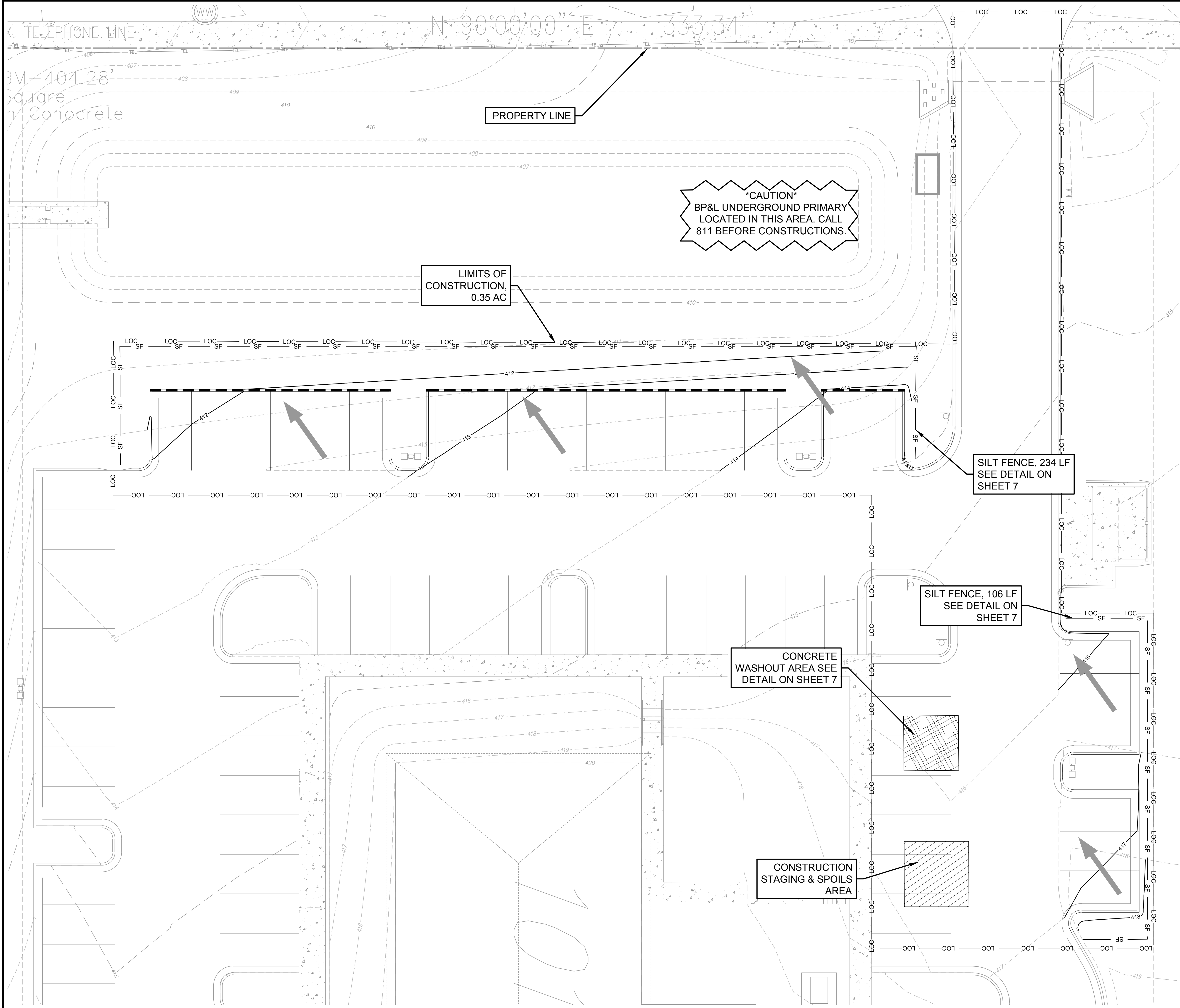


DESIGN AAK	DRAWN DWC	CHKD MK
JOB No. 070784-01-001		
SHEET 3 OF 8		



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- PROPOSED R.O.W.
- PROPOSED LOT LINE
- EASEMENT LINE
- PROPOSED CURB & GUTTER
- PROPOSED SAWTOOTH CURB & GUTTER
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LIMITS OF CONSTRUCTION
- PROPOSED SILT FENCE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- STAGING / SPOILS AREA
- CONCRETE WASHOUT
- PROPOSED ROCK BERM

SUMMARY OF SITE EROSION AND SEDIMENT CONTROL		
ITEM	QUANTITY	UNIT
LIMITS OF CONSTRUCTION	0.35	AC
SILT FENCE	340	LF
CONCRETE WASHOUT	1	EA
CONSTRUCTION STAGING & SPOILS AREA	1	EA

**Bowman**  
 © 2024 Bowman Consulting Group, Ltd.  
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 Fax: (512) 327-4062  
 www.bowman.com

REVISION	DATE	DESCRIPTION

**EROSION & SEDIMENTATION CONTROL PLAN**

T.A.D.S. PARKING LOT EXPANSION  
 211 JACKSON STREET  
 BASTROP, TEXAS 78602

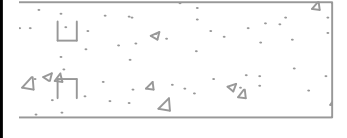
STATE OF TEXAS  
 MARRISA KEISER  
 141397  
 LICENSED PROFESSIONAL ENGINEER  
 Marissa Keiser  
 May 20, 2024

DESIGN AAK	DRAWN DWC	CHKD MK
JOB No. 070784-01-001		
SHEET 4 OF 8		

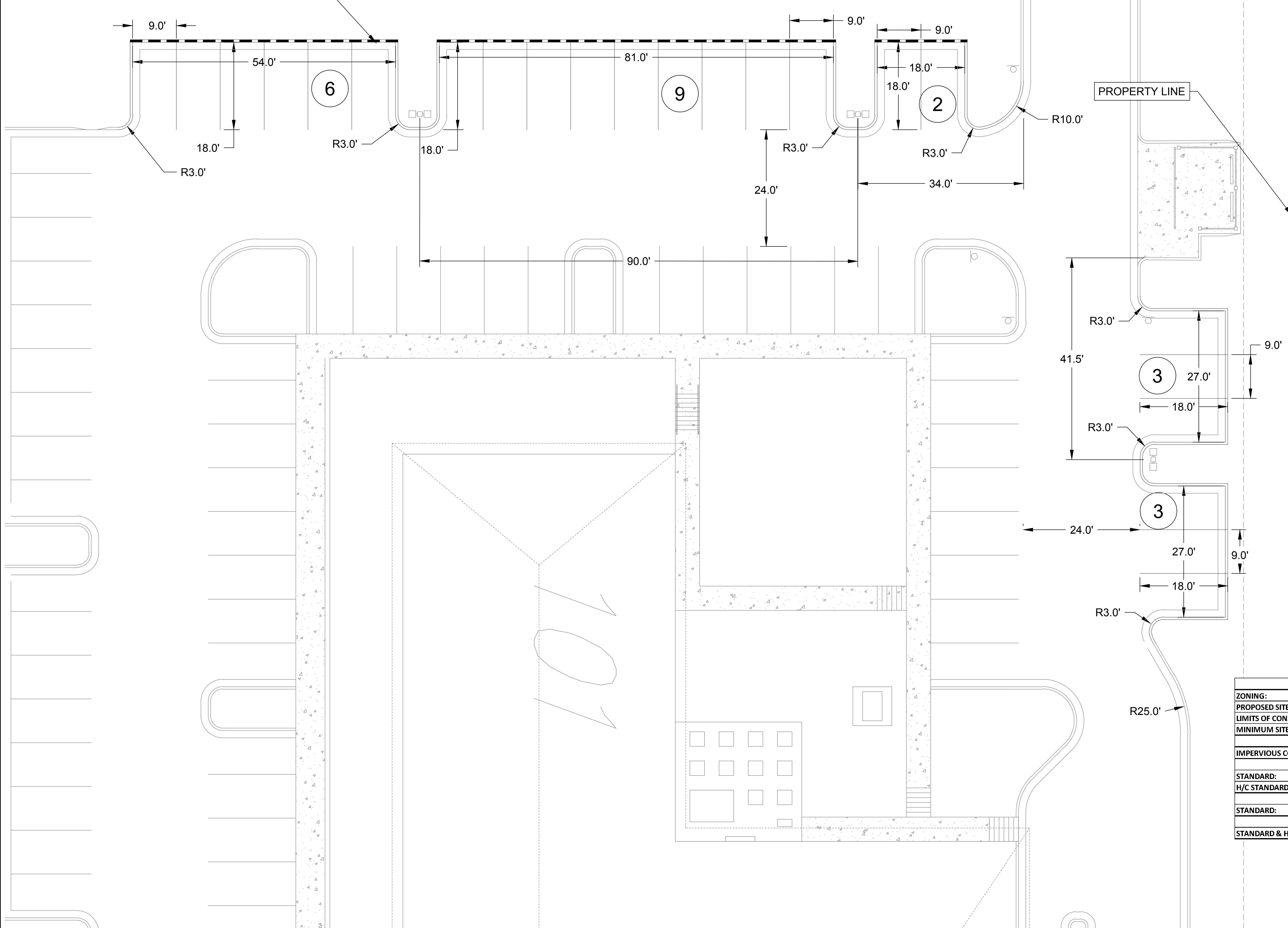


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153 LF OF SAWTOOTH CURB & GUTTER SEE DETAIL ON SHEET 7



**LEGEND**

---	R.O.W.
---	EASEMENT LINE
---	LOT LINE
---	PROPOSED CURB & GUTTER
---	PROPOSED SAWTOOTH CURB & GUTTER
---	PROPOSED SIDEWALK BY DEVELOPER
---	PROPOSED SIDEWALK BY HOMEBUILDER
---	EXISTING FORCE MAIN
---	RECLAIMED WATER
---	EXISTING WASTEWATER LINE
---	EXISTING WASTEWATER LINE
---	EXISTING OVERHEAD UTILITY
---	EXISTING STORM DRAIN
---	WASTEWATER LINE
---	STORM DRAIN PIPE
---	WASTEWATER LINE
---	WASTEWATER LINE
---	HEADWALL
---	CURB INLET
---	STORMSEWER MANHOLE
---	WASTEWATER MANHOLE
---	TREE TO BE REMOVED
---	TREE TO REMAIN

GENERAL NOTE:  
REPLACE FIRE LANE STRIPING AS NEEDED.

**TADS PARKING LOT EXPANSION - SITE DATA TABLE**

<b>ZONING:</b>		BC-PD
<b>PROPOSED SITE LAND USE:</b>		COUNTY D TSA
<b>LIMITS OF CONSTRUCTION</b>		0.35 ACRES
<b>MINIMUM SITE AREA:</b>		N/A
<b>EXISTING</b>		<b>PROPOSED/ADDITIONAL:</b>
<b>IMPERVIOUS COVER:</b>	29.0%	<b>IMPERVIOUS COVER:</b> 31%
<b>PARKING PROVIDED</b>		
<b>STANDARD:</b>	69	
<b>H/C STANDARD VAN ACCESSIBLE:</b>	4	
<b>ADDITIONAL PARKING PROVIDED</b>		
<b>STANDARD:</b>	23	
<b>TOTAL</b>		
<b>STANDARD &amp; H/C STANDARD VAN ACCESSIBLE:</b>	96	



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REVISION	DESCRIPTION	DATE

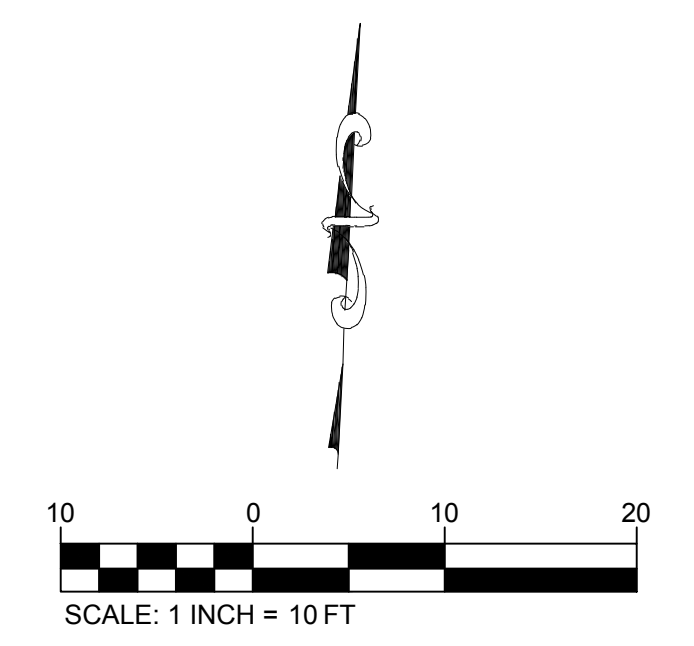
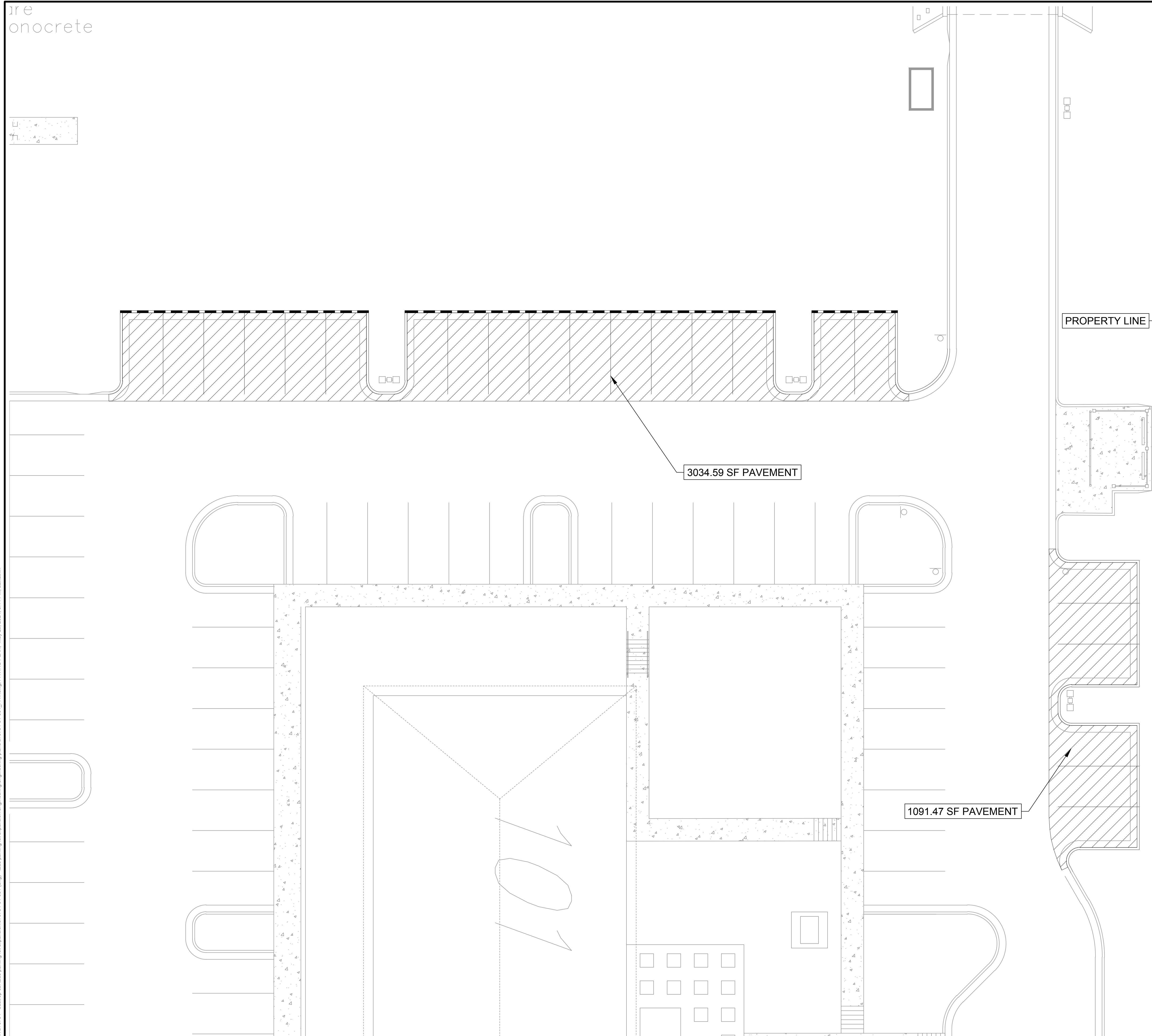
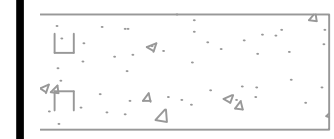
**CONCEPT PLAN**  
**T.A.D.S. PARKING LOT EXPANSION**  
**211 JACKSON STREET**  
**BASTROP, TEXAS 78602**



DESIGN	DRAWN	CHKD
AAK	DWC	MK
JOB No. 070784-01-001		
SHEET		
5 OF 8		

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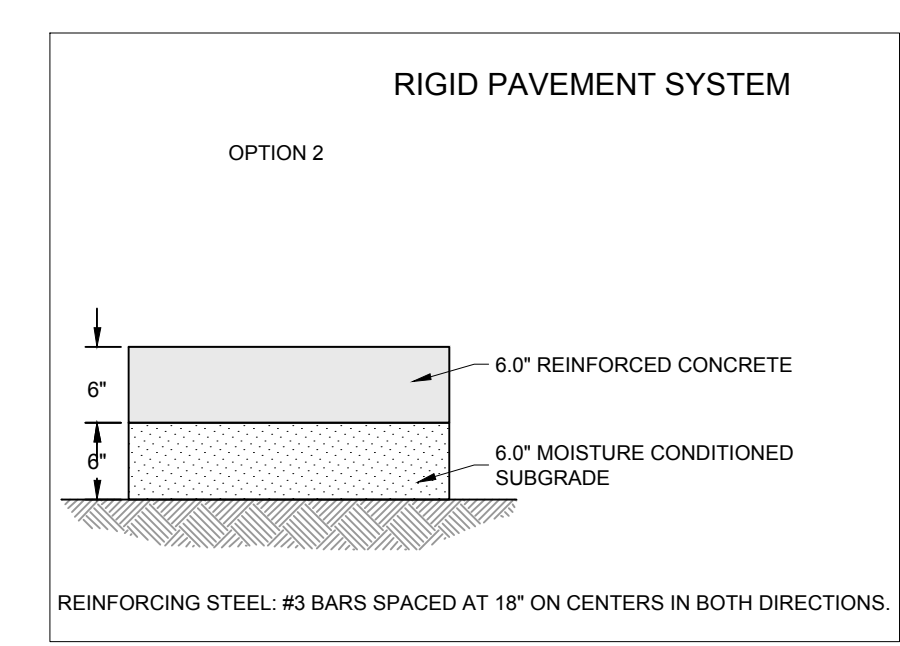
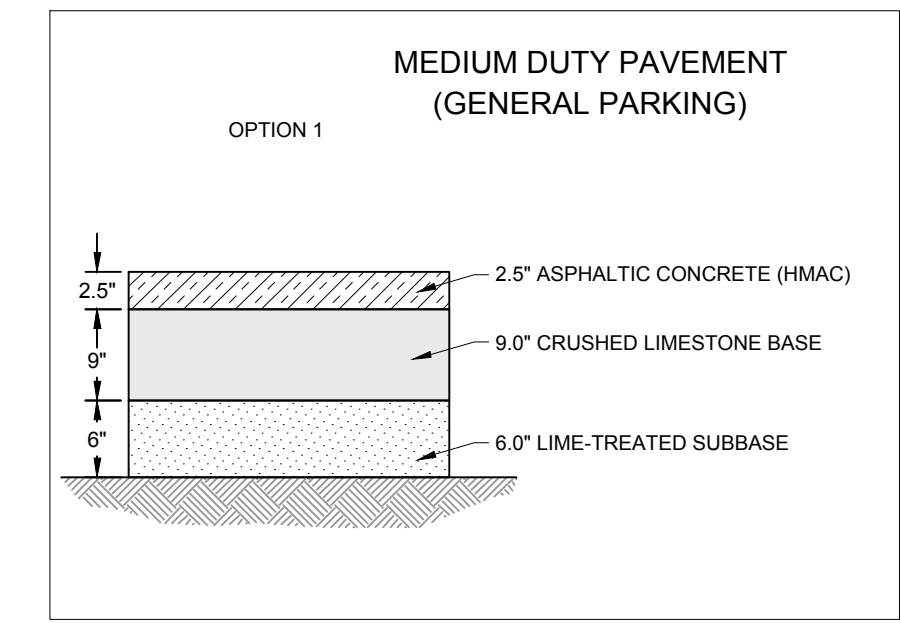




**LEGEND**

- BOUNDARY LINE
- - - EASEMENT LINE
- BUILDING LINE
- - - EXISTING CURB AND GUTTER
- - - CRITICAL WATER QUALITY ZONE
- - - CREEK CENTERLINE
- FIRE
- FIRE LANE
- ▨ SIDEWALK
- ▨ CURB AND GUTTER
- MANHOLE
- CURB INLET
- GRATE INLET
- TREE TO REMAIN
- ▨ PAVEMENT

NOTE:  
1. PAVEMENT SECTIONS PER TERRACON GEOTECHNICAL ENGINEERING REPORT DATED 11/07/12.



**Bowman**  
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Austin, Texas 78746  
Phone: (512) 327-1180  
Fax: (512) 327-4062  
www.bowman.com

REVISION	DESCRIPTION	DATE

**PAVING PLAN**  
T.A.D.S. PARKING LOT EXPANSION  
211 JACKSON STREET  
BASTROP, TEXAS 78602

STATE OF TEXAS  
MARISA KEISER  
141397  
LICENSED PROFESSIONAL ENGINEER  
Marisa Keiser  
May 20, 2024

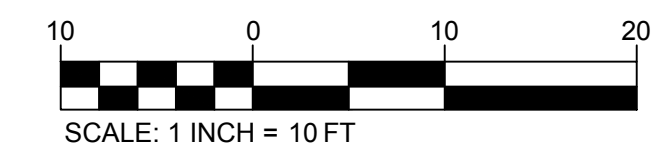
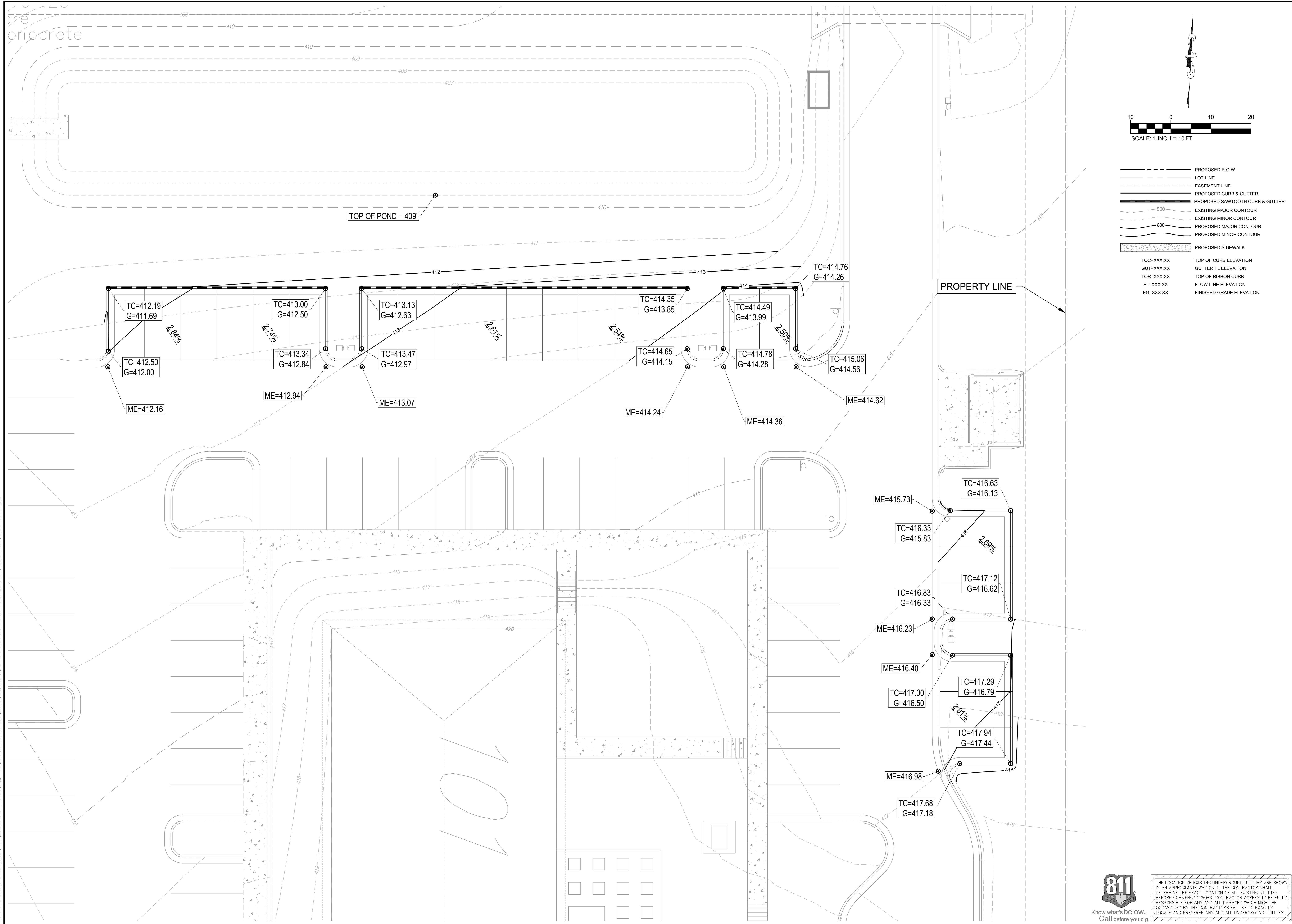
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JOB No. 070784-01-001		
SHEET 6 OF 8		



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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- PROPOSED R.O.W.
- LOT LINE
- EASEMENT LINE
- PROPOSED CURB & GUTTER
- PROPOSED SAWTOOTH CURB & GUTTER
- 8.50' --- EXISTING MAJOR CONTOUR
- 8.30' --- EXISTING MINOR CONTOUR
- 8.30' --- PROPOSED MAJOR CONTOUR
- 8.30' --- PROPOSED MINOR CONTOUR
- PROPOSED SIDEWALK
- TC=XXX.XX TOP OF CURB ELEVATION
- GUT=XXX.XX GUTTER FL ELEVATION
- TOR=XXX.XX TOP OF RIBBON CURB
- FL=XXX.XX FLOW LINE ELEVATION
- FG=XXX.XX FINISHED GRADE ELEVATION

**Bowman**  
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 www.bowman.com

REVISION	DATE	DESCRIPTION

**GRADING PLAN**

**T.A.D.S. PARKING LOT EXPANSION**  
**211 JACKSON STREET**  
**BASTROP, TEXAS 78602**

MARISA KEISER  
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<b>7 OF 8</b>		

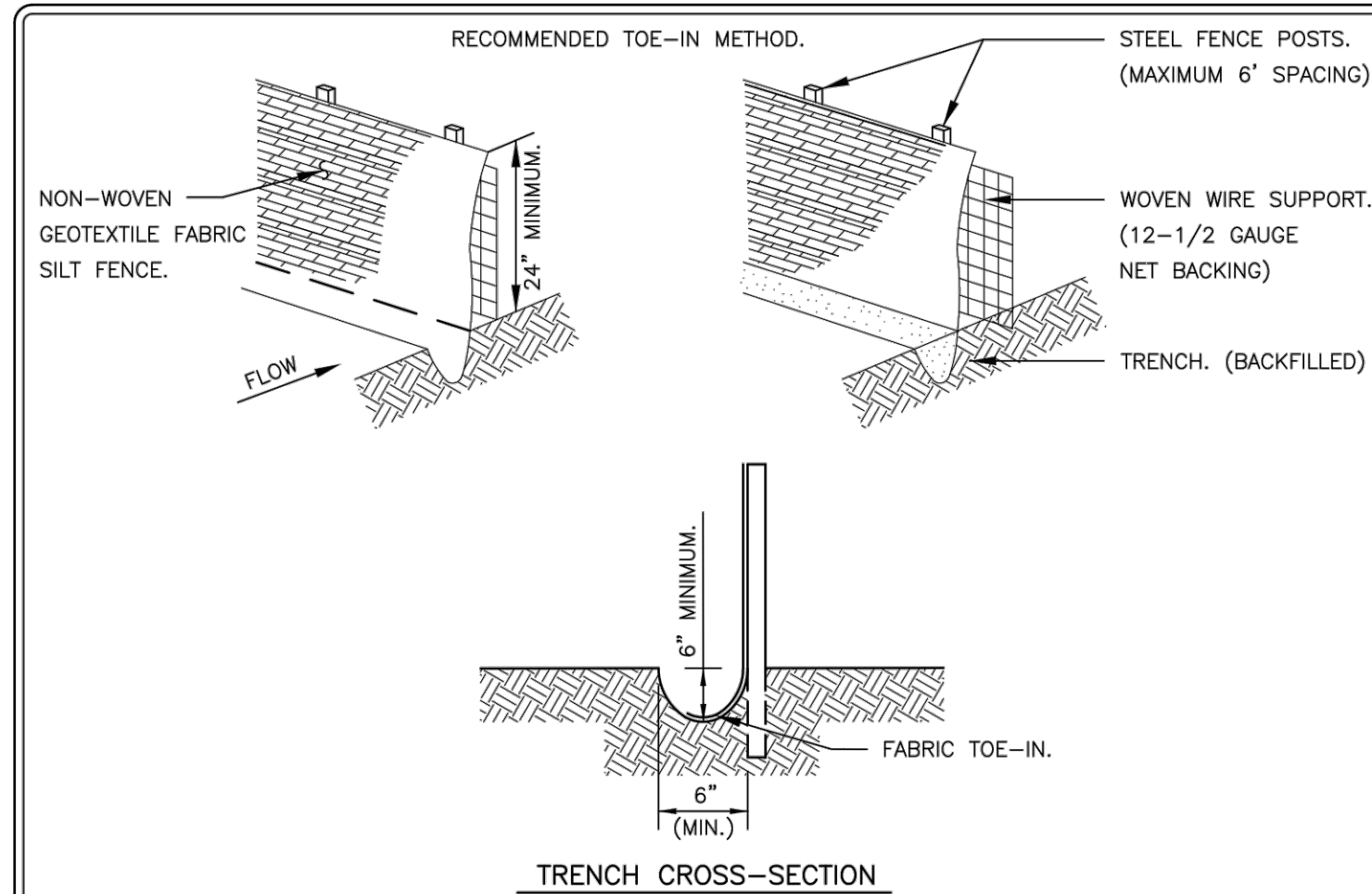


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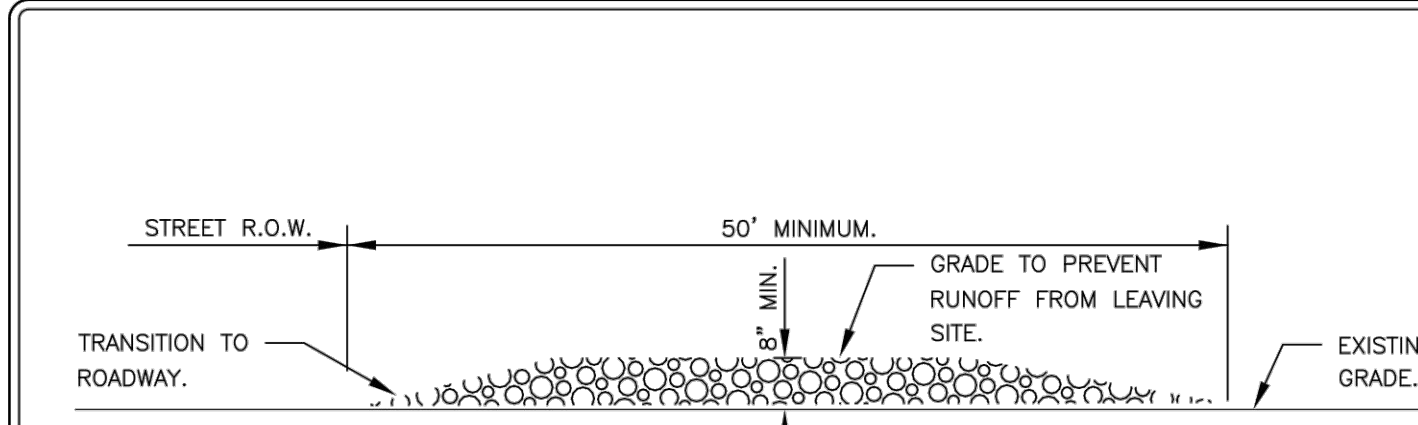
PRELIMINARY NOT FOR CONSTRUCTION





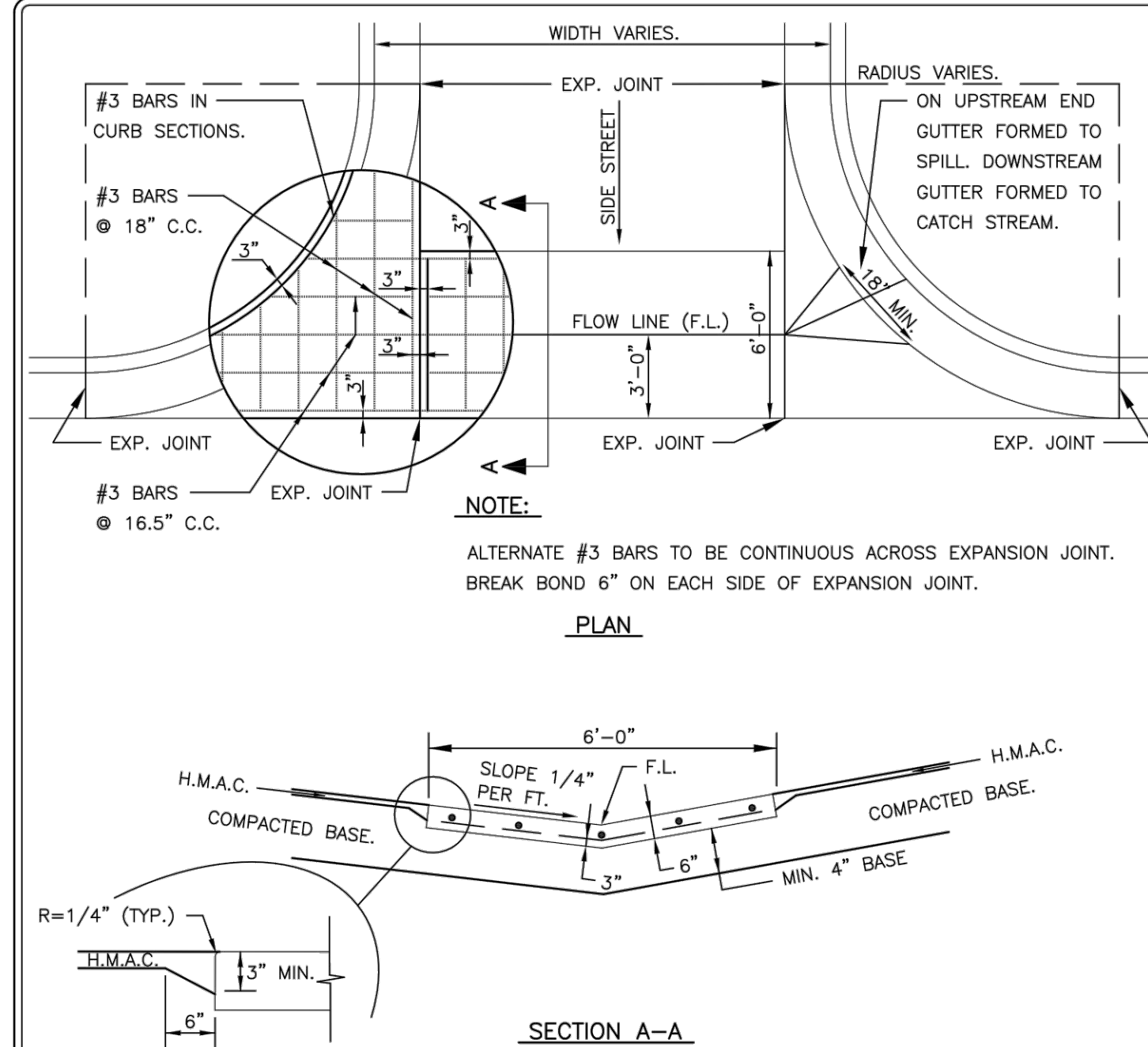
- NOTES:**
- SILT FENCE SHALL CONFORM TO CITY OF BASTROP SPECIFICATION 642.
  - STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MIN. OF ONE (1') FOOT.
  - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT) WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
  - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  - SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS SECURELY FASTENED TO THE STEEL FENCE POSTS.
  - INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	<b>CITY OF BASTROP</b>	DRAWING NO.: EC-02
	<b>SILT FENCE DETAIL</b>	



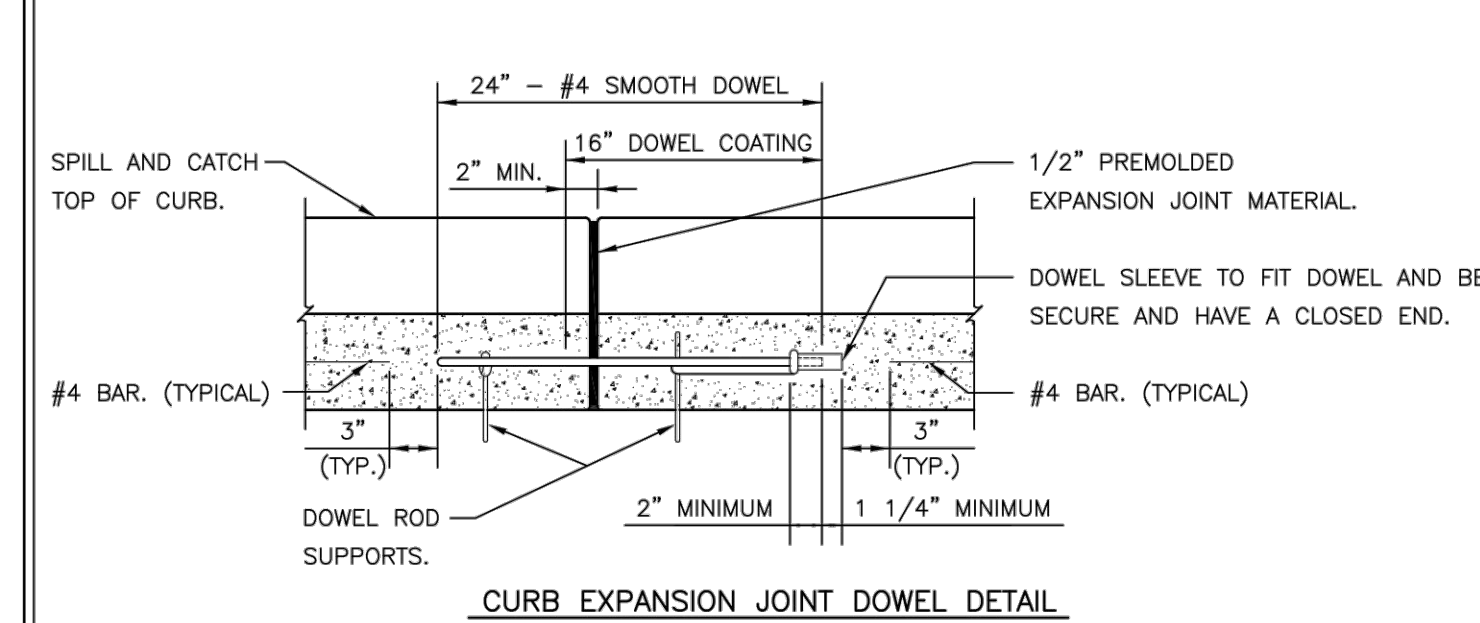
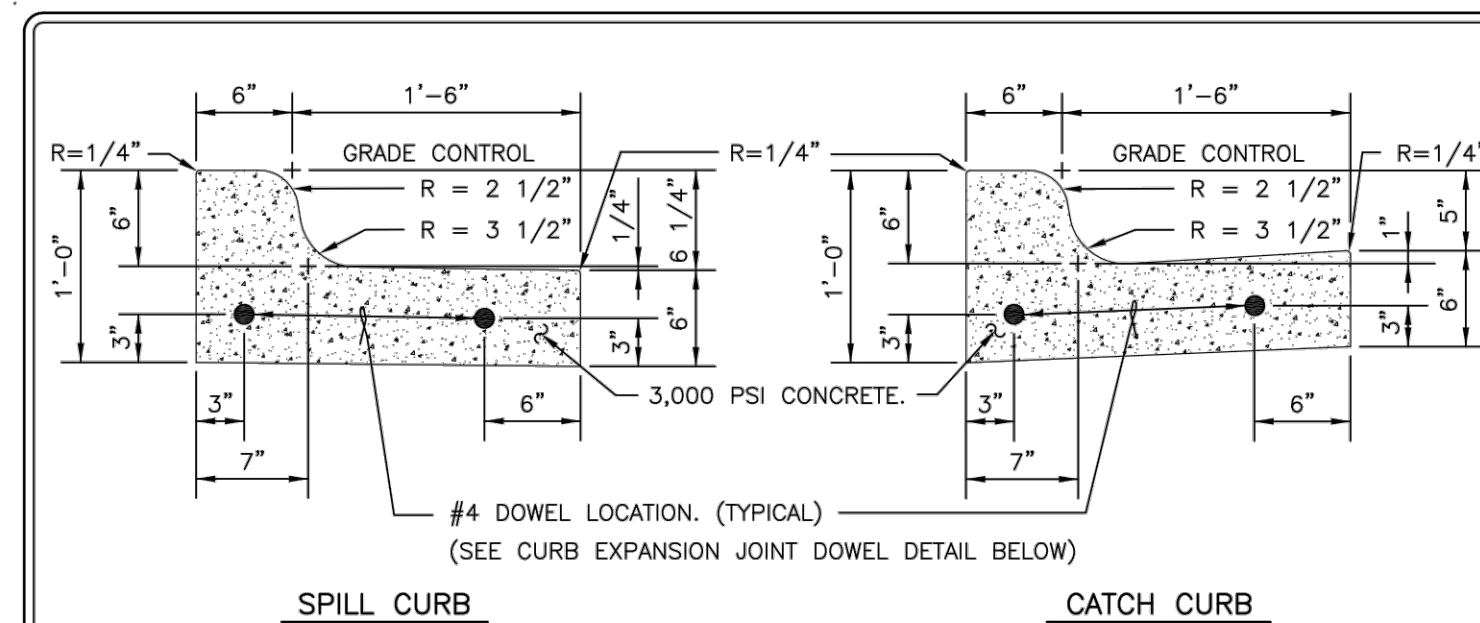
- NOTES:**
- A STABILIZED CONSTRUCTION ENTRANCE APPLIES TO ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO A PUBLIC RIGHT OF WAY, STREET, ALLEY, SIDEWALK, OR PARKING AREA.
  - STONE SIZE SHALL BE 4" - 8" OPEN GRADED ROCK.
  - THICKNESS OF CRUSHED STONE PAD TO BE NOT LESS THAN 8".
  - LENGTH SHALL BE A MINIMUM OF 50' FROM ACTUAL ROADWAY, AND WIDTH NOT LESS THAN FULL WIDTH OF INGRESS/EGRESS.
  - ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY BY CONTRACTOR.
- AS NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.

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	<b>STABILIZED CONSTRUCTION ENTRANCE DETAIL</b>	



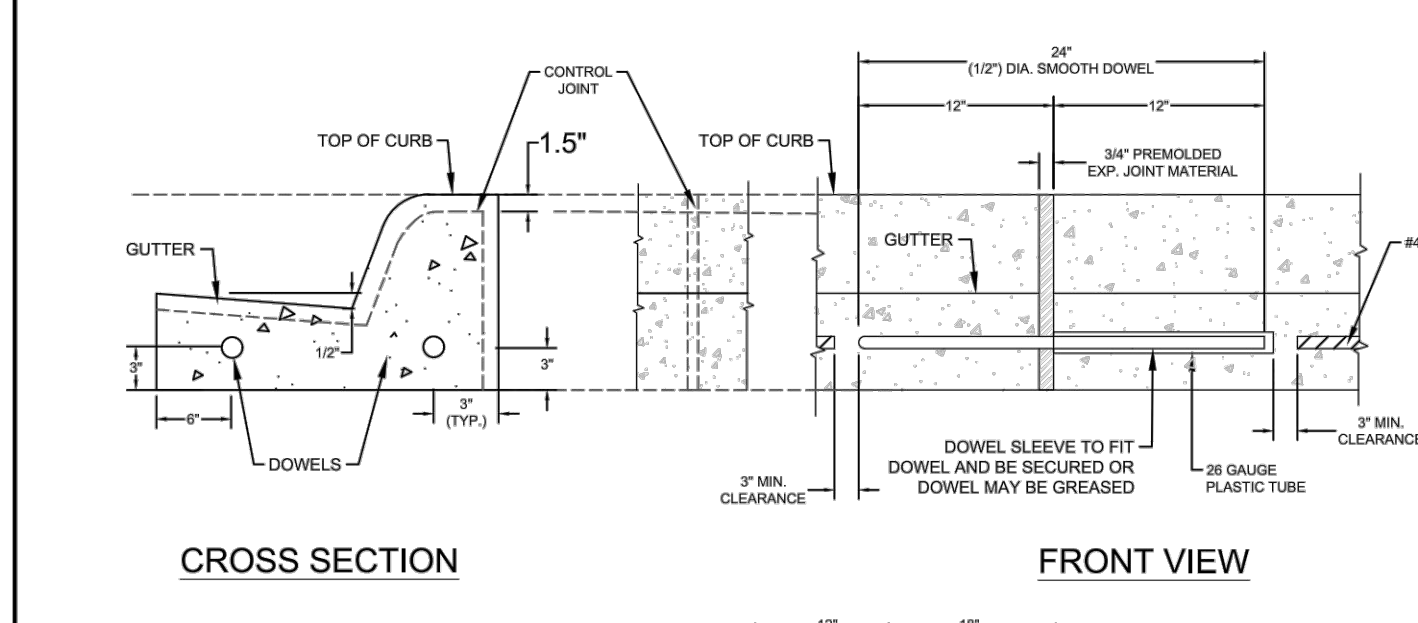
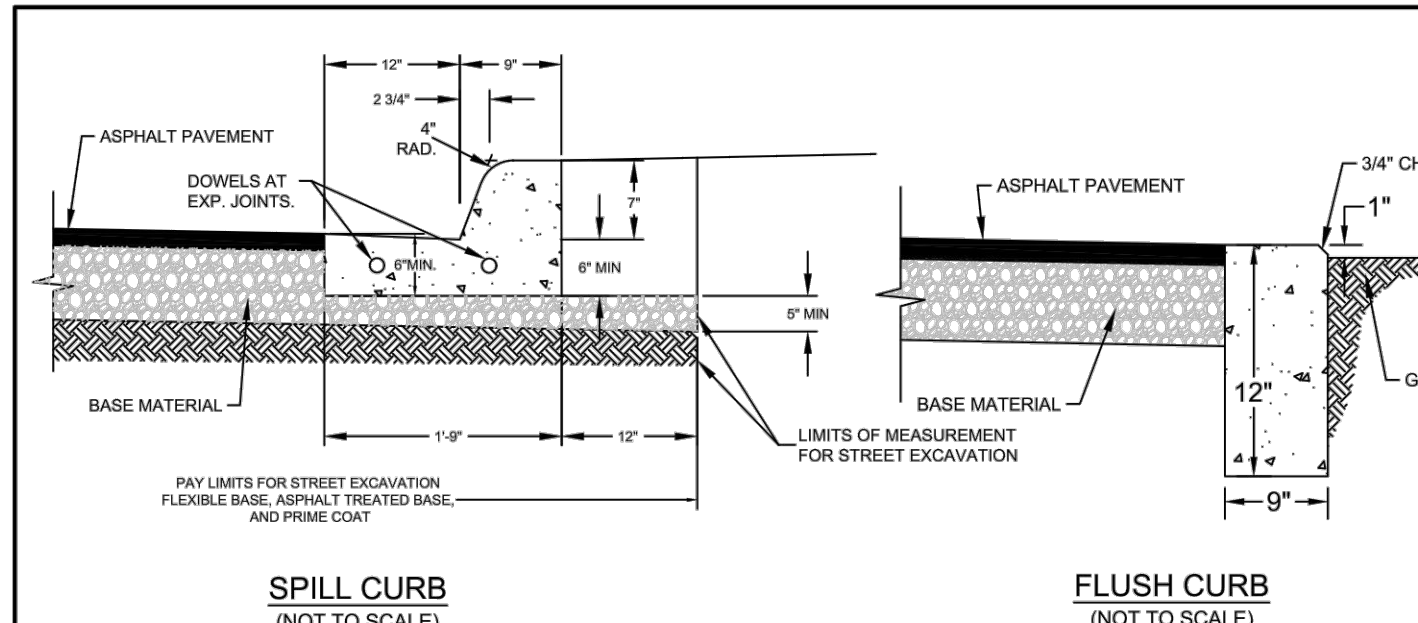
- NOTES:**
- STREET DESIGNS SHALL MINIMIZE THE USE OF VALLEY GUTTERS.
  - CONCRETE SHALL BE CLASS "A".
  - MONOLITHIC CURB & GUTTER SHALL BE MEASURED BY PLAN SQUARE FEET AND PAID AS VALLEY GUTTER.
  - THE UPSTREAM CURB MID POINT MUST BE AT OR LOWER THAN THE BEGINNING P.C. AND .5% (MIN.) HIGHER THAN THE OPPOSING MID POINT.
  - ALLOWABLE CONSTRUCTION JOINT AT @ WHEN TRAFFIC FLOW MUST BE MAINTAINED, CONSTRUCTED AS A CONTROL JOINT. PROVIDE EXPANSION JOINT @ @ FOR WIDTHS GREATER THAN 40 FEET.
  - ALL EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" PREMOLED EXPANSION JOINT MATERIAL AND DOWELS AND CAPS (SEE STANDARD CURB DOWEL DETAIL ON DETAIL ST-05).

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	<b>CONCRETE VALLEY GUTTER DETAIL</b>	



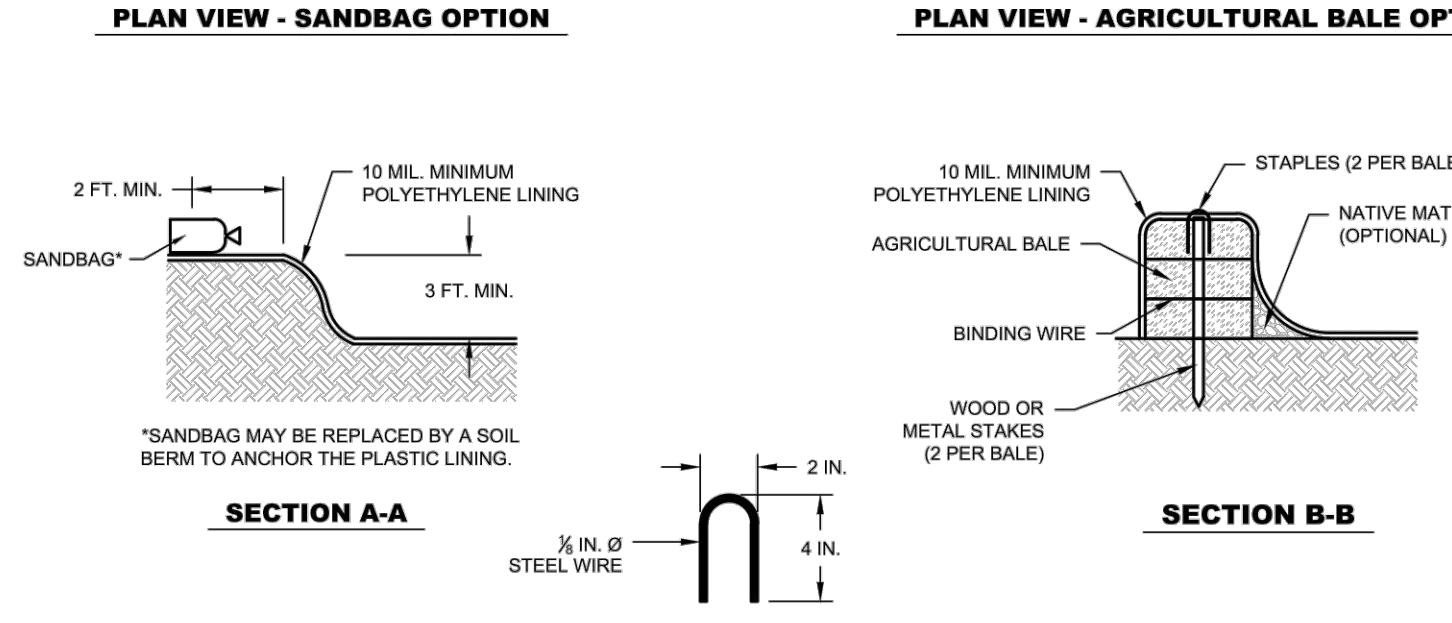
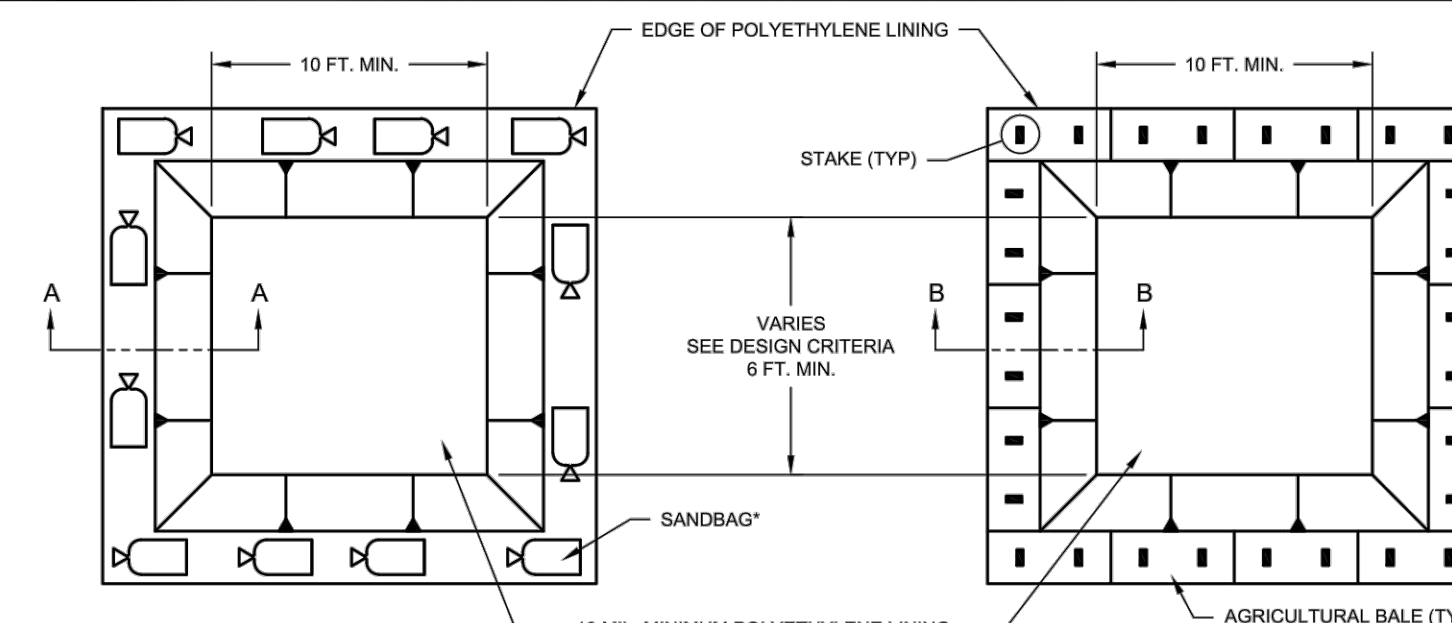
- NOTES:**
- ALL WORK AND MATERIAL SHALL CONFORM TO ASTM A615, A615M, C309 AND D1752. BROOM FINISH EXPOSED SURFACE.
  - CONTROL JOINT SPACING SHALL NOT EXCEED 10'-0".
  - EXPANSION JOINTS AS PER STANDARD ASTM D-1752.
  - EXPANSION JOINT INTERVALS NOT TO EXCEED 40'-0" FOR ALL CURBS AND CONSTRUCTION METHODS.
  - ALL CURBS SHALL HAVE A MINIMUM OF 4" OF COMPACTED FLEXIBLE BASE BETWEEN BOTTOM OF CURB AND TOP SUBGRADE THAT SHALL EXTEND A MINIMUM OF 18" BEHIND BACK OF CURB. TOTAL DEPTH OF FLEXIBLE BASE UNDER AND BEHIND CURB SHALL BE: (TOTAL DEPTH OF FLEXIBLE BASE) LESS (6-INCHES).
  - ALL CURBS SHALL CONFORM TO THESE DETAILS INDEPENDENT OF THE CONSTRUCTION METHODS USED.

RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	<b>CITY OF BASTROP</b>	DRAWING NO.: ST-05
	<b>SPILL AND CATCH CURB DETAIL (WITH CURB EXPANSION JOINT DOWEL DETAIL)</b>	



- CURB AND GUTTER NOTES**
- STEEL TO MEET ASTM STD SPECIFICATIONS FOR CONCRETE REINFORCING BARS.
  - PLACE PREFORMED EXPANSION JOINTS THROUGH CURBS AND GUTTERS AT LOCATIONS OF EXPANSION AND CONTRACTION JOINTS IN PAVEMENT, AT END OF RADIUS RETURNS AT STREET INTERSECTIONS AND DRIVEWAYS, AND AT CURB INLETS. MAXIMUM SPACING SHALL BE 120 FEET.
  - MAXIMUM SPACING FOR CONTROL JOINTS 10 FEET.
  - CENTER DOWEL HORIZONTALLY ON JOINT.
  - CENTER DOWEL VERTICALLY IN CONCRETE AS NEEDED TO MAINTAIN 2" MIN. COVER.
  - REINFORCING STEEL SHALL BE #4 BARS (IN LINE WITH DOWELS).
  - CONTROL JOINTS TO HAVE A DEPTH OF 1.5" INCLUDING DOWN BACK OF CURB.

	<b>CITY OF BASTROP</b>	
	<b>SAWTOOTH CURB &amp; GUTTER DETAIL</b>	



- NOTES:**
- WASHOUT AREA MUST BE CLEARLY MARKED WITH SIGNAGE NOTING THE WASHOUT AREA AND BE IDENTIFIED ON SWPPP MAP.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 50 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  - A CONCRETE WASHOUT PIT OR OTHER CONTAINMENT SHALL BE INSTALLED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO, IN NO CASE SHALL CONCRETE WASHOUT OCCUR CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS.
  - WASHOUT AREA MUST ALLOW FOR 6 CUBIC FEET OF CONTAINMENT VOLUME FOR EVERY 10 CUBIC YARDS OF CONCRETE PLACED.
  - THE CONTAINMENT SHALL BE LINED WITH POLYETHYLENE (MINIMUM 10 MILLIMETERS THICK) OR AN EQUIVALENT MEASURE TO PREVENT SEEPAGE TO GROUNDWATER.
  - PORTABLE, PREFABRICATED, CONCRETE WASHOUT CONTAINERS ARE COMMERCIALY AVAILABLE AND ARE AN ACCEPTABLE ALTERNATIVE TO THE ABOVE GRADE AND BELOW GRADE WASHOUT AREAS DEPICTED ABOVE.
  - WASHOUT STRUCTURES SHALL BE CLEANED OUT WHEN THE STRUCTURE IS 75% FULL. TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY.

	<b>CITY OF BASTROP</b>	
	<b>CONCRETE WASHOUT DETAILS (NO SCALE)</b>	

REVISION	DATE	DESCRIPTION

**DETAILS**

T.A.D.S. PARKING LOT EXPANSION  
 211 JACKSON STREET  
 BASTROP, TEXAS 78602

STATE OF TEXAS  
 PROFESSIONAL ENGINEER  
 MARISSA KEISER  
 141397  
 May 20, 2024

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